



**PO Box 481421
Charlotte, NC 28269
704-399-1177**

Customer
Report Sample

Home
456 New Place
Charlotte NC 28269



Report ID:
110886

Inspection Date
12/12/2008

Inspected By
Keven H. Kossler NC #17 SC# 44

A handwritten signature in black ink, appearing to read "Keven H. Kossler".



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General Summary



Castle Check, LLC

PO Box 481421
Charlotte, NC 28269
704-399-1177

Customer
 Report Sample

Property Address
 456 New Place
 Charlotte NC 28269

This Summary is not the entire report. The full report may contain additional information of interest or concern to the client. It is strongly recommended that the client promptly read the entire report. For information regarding the negotiability of any item in this report under a real estate purchase contact consult with a NC/SC real estate agent or attorney.

The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. It is recommended that any deficiencies and the components/systems related to these deficiencies noted in the report/summary be further evaluated/reviewed and repaired as deemed appropriate by the properly qualified or licensed tradesman/contractor/professional prior to closing. Further evaluation prior to closing is recommended so that the properly qualified or licensed professional can evaluate/review our concerns further and evaluate the entire remainder of deficient system, fixture, appliance and or component for additional concerns that may be outside the scope of our home inspection and have repairs made as deemed appropriate prior to closing.

2. GROUNDS

2.2 DECKS, PATIOS, PORCHES AND APPLICABLE RAILINGS

Repair/Defective



The rear deck handrail pickets are missing and or are spaced too far apart. Pickets need to be installed at all railings with maximum space between pickets to be four inches or less (where platform exceeds 30 inches from ground).

2.3 GRADING, DRAINAGE AND VEGETATION (With respect to their effect on the condition of the building)

Repair/Defective



The grading is sloped towards rear and right side of structure. These areas do not allow water to drain freely away from home/foundation. The grading needs to promote positive drainage away from the structure/foundation and should slope down away from the foundation (6 inches per 10 feet, 6" per 6' UBC).

3. FOUNDATION



3. FOUNDATION

3.0 FOUNDATIONS

Repair/Defective



All organic and or inorganic type debris on ground in crawl space should be removed.

3.1 COLUMNS OR PIERS

Repair/Defective



(1) One or more of the piers throughout various areas of the crawl space are not aligned under the main structure support beams properly. Evidence suggests that the main beams are not positioned properly on the piers.



(2) The blocking/metal plate shims between the top of the pier(s) and the wooden structure beams at one or more support piers are not installed properly (not weight bearing).



(3) Pier at right end of drop support girder has been compromised/damaged so as to route a wire through it.



(4) The masonry structural support piers are compromised, mortar joints are soft, missing, damaged and or deteriorated.



(5) Screw-type jacks supporting the floor system should be properly attached at the top and bottom to prevent unwanted movement as well as installed right side up and on proper footings. Screw-type jacks are to be used as temporary supports only.

3.2 BEAMS, JOISTS, AND FLOORS (Structural)

Repair/Defective



Noted organic type growth and discoloring of the floor system members is present in various areas throughout the crawl space. Evidence suggests that this is from a poor crawl space environment, typically past and or present elevated moisture/humidity conditions conducive to decaying the substructural member. We recommend review and repair by a properly qualified/licensed specialist.

3.4 FOUNDATION VAPOR RETARDERS

Repair/Defective



The crawl space vapor barrier (plastic) is soiled, wet, missing and or deteriorated in areas. A full crawl space ground vapor barrier (plastic) needs to be installed. We recommend a minimum of 6 mil thick plastic. The vapor barrier should be installed in the crawlspace as directed by a properly qualified water/moisture/humidity control specialist.

3.5 WATER ENTRY (Report signs of abnormal or harmful water penetration into foundation areas.)

Repair/Defective



Evidence of water/moisture present inside the crawl space foundation area. The crawl space ground is wet. This water/moisture entry needs to be eliminated to reduce dampness in the structure/foundation that may lead to deterioration of the building components.



4. EXTERIOR

4.0 SIDING/WALL CLADDING

Repair/Defective



Siding is loose and or missing, this will allow water to penetrate into the framing at, rear and at/around rear deck

4.1 EXTERIOR FLASHING AND TRIM

Repair/Defective



Caulking around components such as but not limited to windows, doors and exterior wall penetrations at various areas around the house need to be caulked/sealed, open voids and or missing caulking observed.

4.7 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

**4. EXTERIOR****Repair/Defective**

Garage door safety reverse eye sensors are not installed properly, they are installed too high. They need to be installed as per the manufacturer's specifications (safety concern).

**5. ROOF****5.1 ROOF COVERINGS****Repair/Defective**

Roof ridge shingles at rear bay window roof are split/damaged.

5.2 ATTIC VENTILATION**Repair/Defective**

Roof ridge vent is not functional, when the ridge vent was installed the roofing felt paper was not removed so as to allow air transfer.

5.3 FLASHINGS AND ROOF PENETRATIONS**Repair/Defective**

Roof plumbing vent pipe flashings/boots are split/damaged at rear.

5.4 WATER/MOISTURE ENTRY (Report signs of abnormal or harmful water/moisture penetration into the attic area.)**Repair/Defective**

Evidence of water/moisture/staining penetration observed in the attic/ceiling structure/framing at/around vent pipe penetrations. The seller should be asked about the status of these moisture stains and any recent repairs, further investigation recommended.

**6. PLUMBING****6.4 SINKS, FIXTURES AND TOILETS****Repair/Defective**

(1) The sink stopper in the master bathroom did not work when tested.

6.5 SHOWER/TUB TILE WALLS**Repair/Defective**

Cracked/compromised grout joints in the tile walls / floor junctions in the master shower need to be properly re-done/sealed. Non visible moisture damage that is not readily visible maybe present in, under and or around the compromised area, this should be checked during the repair.

6.7 HOSE FAUCETS**Repair/Defective**

Hose faucet(s) loose from wall, the faucet(s) at various areas should be secured to the structure.

**7. ELECTRICAL****7.2 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN, AND**



7. ELECTRICAL

DISTRIBUTION PANELS

Repair/Defective



Two wires were observed to be connected to one circuit breakers in the main panel. While often done, this is not permitted unless the device is so labeled. Double tapping often leads to overloaded circuits and loose connections that can overheat (safety concern).

7.3 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Repair/Defective



Open wire splices/junction boxes were observed in the crawl space and attic. All wiring connections should be protected in a enclosed/covered approved electric junction box.

7.4 OUTLETS, SWITCHES AND FIXTURES (Observed from a representative number; operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Repair/Defective



The GFCI electric outlet in the hall bathroom tested to be improperly wired and did not trip off when tested (safety concern).



8. HEATING

8.1 HEATING EQUIPMENT

Repair/Defective



Abnormal moisture stains and rust present inside air handler located in attic.

8.2 HEAT DISTRIBUTION SYSTEMS (Ductwork, air flow, air filters, and registers)

Repair/Defective



HVAC system ducts are somewhat loose and not properly sealed at junctions, connections and joints.

8.8 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Repair/Defective



Investigate Further: Gas odor (smell of gas) present/observed at/near furnace shut off valve/piping at the furnace area (safety concern).



9. AIR CONDITIONING

9.1 COOLING AND AIR HANDLER EQUIPMENT

Repair/Defective



Evidence of past and or present moisture conditions (rust, water stains and or standing water) present in over flow pan under air handler unit located in attic . This is a typical past and or present indication of the air handler, refrigerant lines and or A-coil leaking and or not draining properly, also the condensation drain piping maybe clogged.



10. INTERIORS



10. INTERIORS

10.3 DOORS (Representative number)

Repair/Defective



Door knob latch did not engage into striker plate and should be repaired or adjusted at; master bedroom closet



11. INSULATION AND VENTILATION

11.1 FLOOR INSULATION

Repair/Defective



The crawl space floor insulation has come loose and is laying on the ground at various areas throughout the crawl space. The insulation needs to be put back into place, any wet and or deteriorated insulation needs to be replaced.



12. BUILT-IN KITCHEN APPLIANCES

12.0 DISHWASHER

Repair/Defective



Dishwasher drain hose needs to be looped above the level of the kitchen sink drain or an approved air gap installed to prevent back flow of waste water into the water supply, this is a minor repair and typically very easy to do.

12.3 RANGES, OVENS, AND COOKTOPS

Repair/Defective



Range/oven anti-tip bracket/anchored is not present. This device can be easily installed and was part of the manufactures installation packet as shown on the oven door label.

This report is provided for the specific and exclusive use and benefit of the client(s) only. Secondary and third party readers of this information should hire a Qualified and Licensed Inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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PO Box 481421
 Charlotte, NC 28269
 704-399-1177

INVOICE

Customer:

Report Sample

Location:

456 New Place
 Charlotte NC 28269

Inspection Date: 12/12/2008

Report ID: 110886

Real Estate Agent:

Inspection Fee:

Service	Price	Amount	Sub-Total
Property Inspection	375.00	1	375.00
Radon Test CRM Monitor	135.00	1	135.00

Tax \$0.00

Total Price \$510.00

Payment Status: Paid

Note:

Payment of this invoice is due upon receipt. The late payment charge rate of interest is 1.5% monthly (18% per annum), with a minimum late fee of \$ 25.00 after 30 days. Fee on all returned checks is \$35.00.

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Date: 12/12/2008	Time: 09:00 AM	Report ID: 110886
Property: 456 New Place Charlotte NC 28269	Customer: Report Sample	Real Estate Professional:

Properties more than 5 years old may have areas that are not current in code requirements. This is not a new property and this property cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that properties of any age will have had repairs performed and some repairs may not be in a workman like manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes evidence of water/moisture in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult in a lived in property. Sometimes properties have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspector does not look for possible manufacturer re-calls on components that could be in this property. Always consider hiring the appropriate expert and or specialist for any repairs or further inspection.

BASIC PREMISE OF A PROPERTY INSPECTION

The purpose of a property inspection is to find out if there are any MAJOR problems with any of the structural or mechanical systems of the property, which could significantly affect the value of the property. As your inspector goes through his procedure to discover any major problems, he will uncover many minor problems. We make no claim we can find all the minor problems, but all those we observe will be on the report, whether major or minor. The purpose of the home inspection is NOT to identify each and every maintenance task.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, microbial type growth, fungi, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

The inspection performed is a visual inspection only and does not contemplate or involve the dismantling or moving of any object, furnishings or portion of the premises. Latent and concealed defects and deficiencies are excluded from the inspection.

THIS INSPECTION AND REPORT IS NOT A WARRANTY, GUARANTEE, INSURANCE POLICY OR SUBSTITUTE FOR ANY DISCLOSURE STATEMENT WHETHER OR NOT IT IS REQUIRED BY LAW.

No representation is made as to how long any equipment will continue to function. This inspection is limited to the real property and does not include personal property unless so indicated in this inspection report. Maintenance and other items may be discussed, but they are not a part of our inspection.

STATUTE OF LIMITATIONS: The parties agree that no action may be brought to recover damages against the "INSPECTOR"/COMPANY more than one year after delivery of the "INSPECTORS" written report to the "CLIENT".

I/WE AGREE TO CAREFULLY READ THE ENTIRE INSPECTION REPORT.

People Present:
Client, Buyers Agent

Property Status:
Vacant

Water Test:
No

Radon Testing:
Yes

The purpose of this report is to render the inspector's professional opinion of the condition of the inspected components of the referenced property (dwelling or house) on the date of inspection. Such opinions are rendered based on the findings of a standard limited time/scope home inspection performed according to the Terms and Conditions of the Inspection Order Agreement and in a manner consistent with applicable home inspection industry standards.

The inspection was limited to the specified, readily visible and accessible installed major structural, mechanical and electrical elements (systems and components) of the house. The inspection does not represent a technically exhaustive evaluation and does not include any engineering, geological, design, environmental, biological, health-related or code compliance evaluations of the house or property. Furthermore, no representations are made with respect to any concealed, latent or future conditions.

The GENERAL INSPECTION LIMITATIONS on the following page provides information regarding home inspections, including various limitations and exclusions, as well as some specific information related to this property.

The information contained in this report was prepared exclusively for the named Clients and is not transferable without the expressed consent of the Company. The report, including all Addenda, should be reviewed in its entirety.

The following terminology may be used to report conditions observed during the inspection. Additional terms may also be used in the report:

INSPECTED / MONITOR - Component was working at the time of inspection. Component was in functional or operating order and its condition was at least sufficient for its minimum required function, although routine maintenance may be needed.

REPAIR / DEFECTIVE - Component requires immediate repair, replacement, or other service work, or requires evaluation and/or servicing by a qualified specialist.

NOT APPLICABLE - All or individual listed components were not present, were not observed, were outside the scope of the inspection, and/or were not inspected due to other factors, stated or otherwise.

NOT INSPECTED (NOT RATED) - Component was disconnected or de-energized, was not readily visible or accessible, presented unusual or unsafe conditions for inspection, was outside scope of the inspection, and/or was not inspected due to other factors, stated or otherwise. ***Independent inspection(s) may be required to evaluate components conditions.*** If any condition limited accessibility or otherwise impeded completion of aspects of the inspection, including those listed under LIMITATIONS, it is recommended that limiting factors be removed or eliminated and that an inspection of these elements be arranged and completed prior to closing.

IMPORTANT NOTE: All repair needs or recommendations for further evaluation should be addressed prior to closing. It is the client's responsibility to perform a final inspection to determine the conditions of the dwelling and property at the time of closing. If any decision about the property or its purchase would be affected by any condition or the cost of any required or discretionary service work, further evaluation and/or contractor cost quotes should be obtained prior to making any such decisions.

MOLD AND MICROBIAL EXCLUSIONS

The purpose and scope of a standard home inspection **does not include** the detection, identification or assessment of fungi and other biological contaminants, such as molds, mildew, wood-destroying fungi (decay), bacteria, viruses, pollens, animal dander, pet or vermin excretions, dust mites and other insects. These elements contain/carry microbial particles that can be allergenic, infectious or toxic to humans, especially individuals with asthma and other respiratory conditions or sensitivity to chemical or biological contaminants. Wood-destroying fungi, some molds, and other contaminants can also cause property damage. One particular biological contamination concern is mold. Molds are present everywhere. Any type of water leakage, moisture condition or moisture-related damage that exists over a period of time can lead to the growth of potentially harmful mold(s). The longer the condition(s) exists, the greater the probability of mold growth. There are many different types of molds; most molds do not create a health hazard, but others are toxic.

Indoor mold represents the greatest concern as it can affect air quality and the health of individuals exposed to it. Mold can be found in almost all homes. Factors such as the type of construction materials and methods, occupant lifestyles, and the amount of attention given to house maintenance also contribute to the potential for molds. Indoor mold contamination begins when spores produced by mold spread by air movement or other means to an area conducive to mold growth. Mold spores can be found in the air, carpeting, insulation, walls and ceilings of all buildings. But mold spores only develop into an active mold growth when exposed to moisture. The sources of moisture in a house are numerous and include water leakage or seepage from plumbing fixtures, appliances, roof openings, construction defects (e.g., EIFS wall coverings or missing flashing) and natural catastrophes like floods or hurricanes. Excessive humidity or condensation caused by faulty fuel-burning equipment, improper venting systems, and/or inadequate ventilation provisions are other sources of indoor moisture. By controlling leakage, humidity and indoor air quality, the potential for mold contamination can be reduced. To prevent the spread of mold, immediate remediation of any water leakage or moisture problems is critical. For information on mold testing or assessments, contact a qualified mold specialist.

Neither the evaluation of the presence or potential for mold growth, nor the identification of specific molds and their effects, fall within the scope of a standard home inspection. Accordingly, the Inspection Company assumes no responsibility or liability related to the discovery or presence of any molds, their removal, or the consequences whether property or health-related.

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1. PROPERTY OVERVIEW AND WEATHER CONDITIONS

Thank you for choosing Castle Check, LLC to perform your property inspection. Please read all pages of this inspection report carefully. This inspection is visual only. A representative sample of components are reviewed in areas that are readily accessible at the time of inspection. No destructive testing or dismantling of systems, fixtures or components is performed. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

I NI NP R

1.0	WEATHER CONDITIONS	X		
1.1	TEMPERATURE	X		
1.2	RECENT WEATHER	X		
1.3	SCOPE OF INSPECTION	X		
1.4	SUBJECT PROPERTY PROSPECTIVE	X		
1.5	INSPECTION LIMITATIONS	X		

I NI NP R

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

1.0 The weather at the time of inspection was sunny.

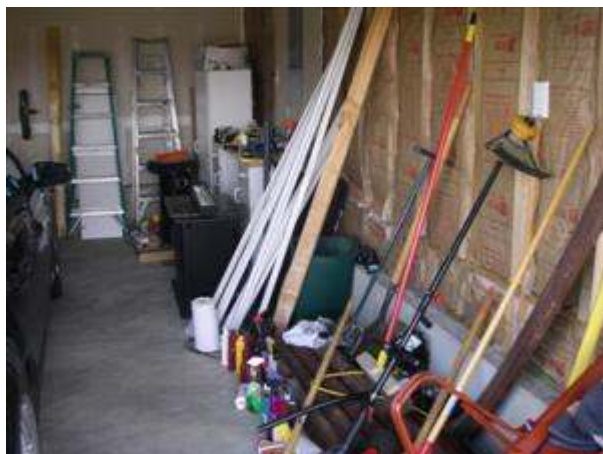
1.1 The outside temperature was approximately 50-60 degrees.

1.2 Weather conditions within the past several days was relatively dry.

1.3 This was a visual structural and mechanical inspection only.

1.4 The property and structure are average construction.

1.5 The property inspection was limited, one or more areas were not accessible due to the following conditions; Furniture, storage and or personal items in numerous areas throughout the property. Supplies, storage and or personal items in cabinets, closets and or utility areas at numerous areas. Washer machine, dryer, cleaning supplies and storage present in laundry room. Areas of the garage foundation and structure could not be inspected/viewed due to cabinets, storage and or personal items. Areas of the attic and roof structure/framing could not be inspected/viewed due to the presence of storage and or personal items. Areas of the attic and roof/ceiling structure/framing could not be inspected/viewed due to the presence of insulation covering components, structural members and or lack of flooring. The crawl space sub-structure/framing/footings at, around, above and behind the floor system insulation could not be inspected/viewed due to the presence of ground vapor barrier, installed insulation, plumbing pipes, drain lines, duct work, mechanical equipment and or earth.



1.5 Picture 1



1.5 Picture 2

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2. GROUNDS

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
2.0	DRIVEWAY	X				DRIVEWAY: CONCRETE
2.1	SIDEWALK, STOOPS AND STEPS	X				SIDEWALKS/STOOPS/STEPS: CONCRETE
2.2	DECKS, PATIOS, PORCHES AND APPLICABLE RAILINGS				X	CONCRETE BRICK WOOD
2.3	GRADING, DRAINAGE AND VEGETATION (With respect to their effect on the condition of the building)				X	DECKS/PORCHES: WOOD
2.4	SUPPLEMENTAL/GENERAL INFORMATION	X				SPECIAL LIMITATIONS: Stored - Personal Items Vegetation / Shrubs / Plantings Under / Around Decks - Patios

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

2.0 Maintenance: Cracks present in driveway surfaces, these cracks are typical. We recommend caulking/sealing to help prevent possible future deterioration.

2.1 Maintenance: Cracks present in sidewalk, stoops and or step surfaces, these cracks are typical. We recommend caulking/sealing to help prevent possible future deterioration.

2.2 The rear deck handrail pickets are missing and or are spaced too far apart. Pickets need to be installed at all railings with maximum space between pickets to be four inches or less (where platform exceeds 30 inches from ground).

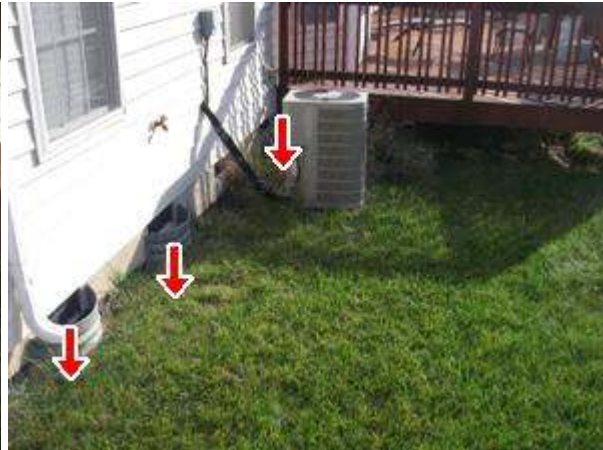


2.2 Picture 1

2.3 The grading is sloped towards rear and right side of structure. These areas do not allow water to drain freely away from home/foundation. The grading needs to be promoted positive drainage away from the structure/foundation and should slope down away from the foundation (6 inches per 10 feet, 6" per 6' UBC).



2.3 Picture 1



2.3 Picture 2



2.3 Picture 3

2.4 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Site Elements - While informational comments may be made related to the condition of certain site elements, the primary intent of inspection of any site element is limited to evaluation relative to its effect on the building.

Stairs/Decks/Porches - Exterior stairs, rails, porches, etc., require regular maintenance to prevent damage or hazardous conditions. If rails are not present on any stairs or elevated structure, it is recommended they be added for improved safety. Do not overload a deck with too many people.

Geological Factors - This report does not include evaluation of any soils or geological conditions/concerns. Construction on certain soils, particularly expansive clays, fill soils, hillside and waterfront areas, necessitate special design consideration. Evaluation of these factors, or the need for them, is beyond the scope of this inspection. Pertinent information should be obtained from local officials and/or a qualified specialist prior to closing, particularly if any concerns are detected or if home is in a detrimental soils area.

Grading and Drainage - To reduce the amount of water run-off or possibility of water penetration and/or structural concerns, provide proper contouring (grading) along the foundation and where needed on the site. Houses on hills or in low-lying areas will be prone to drainage concerns. Improper/inadequate grading and/or drainage can cause/contribute to foundation movement and/or failure. Deficiencies must be corrected to prevent problems.

Site/Underground Drains - Site drains, including any underground piping and downspout drains, often must be regularly maintained/cleared in order to provide adequate water run-off and discharge. Adequacy of any such system cannot be readily determined.

Ancillary Elements - A standard inspection does not include evaluation of elements such as site lighting, irrigation systems, barbecues, sheds, outbuildings, fencing, privacy walls, docks, seawalls, pools, spas and other recreational or site elements. Evaluation of these elements prior to closing would be advisable.

Drainage From Surfaces - All improved surfaces such as patios, walks and driveways should be constructed and maintained so that they slope away from the foundation. Mudjacking and/or sealing may be adequate to correct minor drainage concerns; however, replacement may be required for proper correction in some cases.

Finished Surfaces - Spalling or cracking of concrete surfaces may not affect function provided no lateral displacement has occurred. Maintain as required or correct to eliminate any trip hazard that may exist or develop.

Splash Blocks/Extensions - To minimize water ponding at the foundation and the potential for interior water penetration, downspout extensions or splash blocks should be utilized at the termination points of all downspouts/roof drains. Maintain a positive slope away from the house and discharge downspouts a reasonable distance away from the foundation.

Vegetation/Landscaping - The site vegetation and landscaping should be maintained to prevent damage to the structure. Carefully remove any overgrowth to check for damage.

NOTE: Site conditions are subject to sudden change with exposure to rain, wind, temperature changes, and other climatic factors. Roof drainage systems and site/foundation grading and drainage must be maintained to provide adequate water control. Improper/inadequate grading or drainage and other site factors can cause or contribute to foundation movement or failure, water infiltration into the house interior, and/or mold concerns. Independent evaluations by an engineer or soils specialist is required to evaluate geological or soil-related concerns. Houses built on expansive clays and uncompacted fill, on hillsides, along bodies of water, or in low-lying areas are especially prone to structural concerns. All improved surfaces such as patios, walks, and driveways must also be maintained to drain water away from the foundation. Any reported or subsequently occurring deficiencies must be investigated and corrected to prevent recurring or escalating problems. Independent evaluation of ancillary and site elements by qualified service persons is recommended prior to closing.

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3. FOUNDATION

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
3.0	FOUNDATIONS				X	FLOOR STRUCTURE: WOOD JOISTS PLYWOOD DECKING
3.1	COLUMNS OR PIERS				X	FOUNDATION: CRAWL SPACE BRICK/BLOCK
3.2	BEAMS, JOISTS, AND FLOORS (Structural)				X	COLUMNS OR PIERS: BRICK & BLOCK PIERS STEEL SCREW JACKS
3.3	FOUNDATION VENTILATION	X				FOUNDATION VENTILATION: SILL VENTS
3.4	FOUNDATION VAPOR RETARDERS				X	CRAWL SPACE ENTRY DOOR: REAR WOOD
3.5	WATER ENTRY (Report signs of abnormal or harmful water penetration into foundation areas.)				X	METHOD USED TO OBSERVE CRAWLSPACE: CRAWLED - FLASH LIGHT - PROBE TOOL
3.6	WOOD DETERIORATION	X				SPECIAL LIMITATIONS: Vapor Barriers Sub-floor Insulation Structural Components Below Grade
3.7	SUPPLEMENTAL/GENERAL INFORMATION	X				

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

3.0 All organic and or inorganic type debris on ground in crawl space should be removed.



3.0 Picture 1

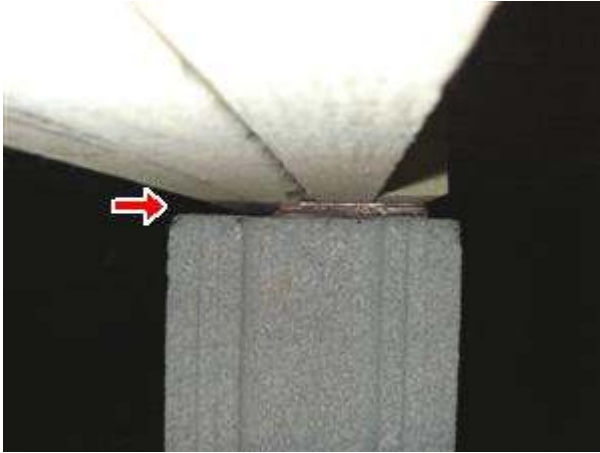
3.1 (1) One or more of the piers throughout various areas of the crawl space are not aligned under the main structure support beams properly. Evidence suggests that the main beams are not positioned properly on the piers.



3.1 Picture 1

(2) The blocking/metal plate shims between the top of the pier(s) and the wooden structure beams at one or more support piers are not installed properly

(not weight bearing).

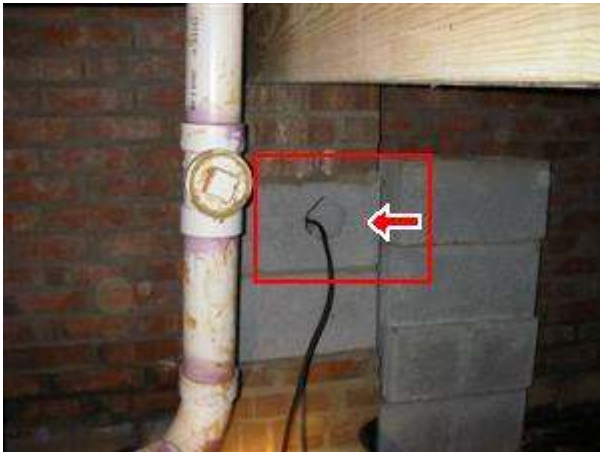


3.1 Picture 2



3.1 Picture 3

🏠 (3) Pier at right end of drop support girder has been compromised/damaged so as to route a wire through it.



3.1 Picture 4

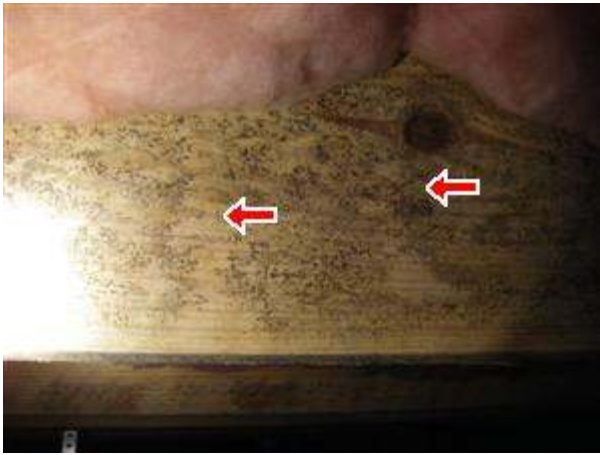
🏠 (4) The masonry structural support piers are compromised, mortar joints are soft, missing, damaged and or deteriorated.

🏠 (5) Screw-type jacks supporting the floor system should be properly attached at the top and bottom to prevent unwanted movement as well as installed right side up and on proper footings. Screw-type jacks are to be used as temporary supports only.



3.1 Picture 5

🏠 3.2 Noted organic type growth and discoloring of the floor system members is present in various areas throughout the crawl space. Evidence suggests that this is from a poor crawl space environment, typically past and or present elevated moisture/humidity conditions conducive to decaying the substructural member. We recommend review and repair by a properly qualified/licensed specialist.



3.2 Picture 1

3.4 The crawl space vapor barrier (plastic) is soiled, wet, missing and or deteriorated in areas. A full crawl space ground vapor barrier (plastic) needs to be installed. We recommend a minimum of 6 mil thick plastic. The vapor barrier should be installed in the crawlspace as directed by a properly qualified water/moisture/humidity control specialist.



3.4 Picture 1

3.5 Evidence of water/moisture present inside the crawl space foundation area. The crawl space ground is wet. This water/moisture entry needs to be eliminated to reduce dampness in the structure/foundation that may lead to deterioration of the building components.



3.5 Picture 1



3.5 Picture 2



3.5 Picture 3



3.5 Picture 4

3.6 Monitor: Minor wood deterioration from moisture and or insects was observed, this deterioration is typical and no major repairs appear to be needed at this time.

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4. EXTERIOR

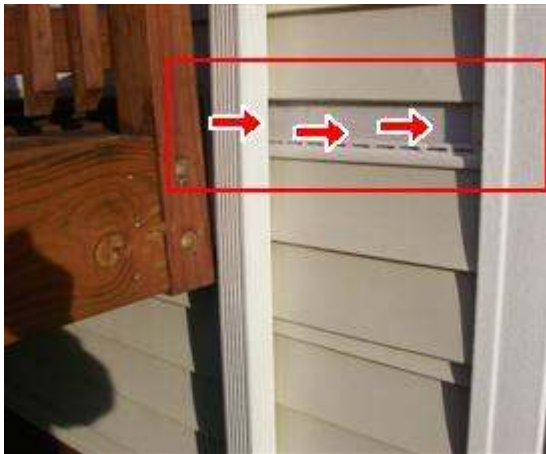
This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Garage door safety tips: The garage door is the largest moving object in the home. Operation of the safety mechanisms should be verified monthly. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
4.0	SIDING/WALL CLADDING				X	SIDING/WALL CLADDING: VINYL BRICK
4.1	EXTERIOR FLASHING AND TRIM				X	TRIM/SOFFIT/FASCIA MATERIALS: VINYL METAL
4.2	EAVES, SOFFITS, AND FASCIAS	X				WALL STRUCTURE: WOOD FRAMING
4.3	WALLS (Structural)	X				EXTERIOR ENTRY DOORS: WOOD METAL
4.4	DOORS (Exterior, representative number)	X				WINDOW TYPES: VINYL THERMAL / INSULATED
4.5	WINDOWS (Exterior, representative number)	X				GARAGE DOOR MATERIAL: METAL
4.6	GARAGE DOOR(S)	X				OPENER MANUFACTURER: GENIE
4.7	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)				X	TYPE: ONE AUTOMATIC
4.8	GARAGE WALLS AND CEILING (Report whether or not fire rated materials are installed on separation walls, safety concern.)	X				SPECIAL LIMITATIONS: Storage - Personal Items Under / Around Decks - Patios Vegetation - Shrubs - Plantings Behind Exterior Finish Materials
4.9	SUPPLEMENTAL/GENERAL INFORMATION	X				

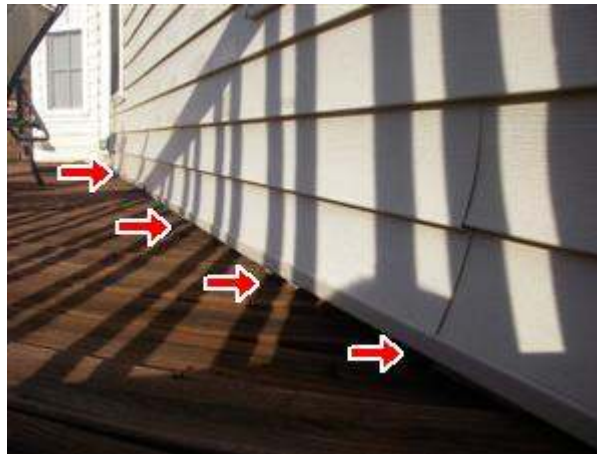
I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

4.0 Siding is loose and or missing, this will allow water to penetrate into the framing at; rear and at/around rear deck



4.0 Picture 1




4.0 Picture 2

4.1 Caulking around components such as but not limited to windows, doors and exterior wall penetrations at various areas around the house need to be caulked/sealed, open voids and or missing caulking observed.



4.1 Picture 1

4.3 The condition of walls, ceilings and floor structures and other components concealed by finish materials such as but not limited to siding, drywall, floor coverings and or cabinets cannot be determined and are specifically excluded from the inspection and report.

 **4.7** Garage door safety reverse eye sensors are not installed properly, they are installed too high. They need to be installed as per the manufacturer's specifications (safety concern).



4.7 Picture 1

4.9 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Windows and Doors - Storms, screens, safety glazing, locks and other attachments are generally not inspected unless otherwise noted. Comments on storms generally are limited to surface conditions; function and operation are not evaluated. An inventory of storms/screens should be taken to confirm desired coverage exists and/or storage locations.

Shutters/Ornamental Trim - The condition of ornamental features such as shutters are not included in a standard home inspection; however, due to exposure to the elements, there is a potential for decay or damage. Regular maintenance will be required. All components and adjacent areas should be checked for damage.

Window/Door Seals - Replacement of insulated glass windows or doors is usually required to correct failed or defective vacuum/thermal seals. Many times failed thermal seals are not visible at the time of inspection and are specifically excluded from this inspection and report. Fortunately, the insulation value is usually not significantly reduced. Replacement time frame may be discretionary; however, conditions will gradually worsen with time.

Glazing/Putty - The glazing/putty on all windows or doors should be repaired to maintain watertightness and to preserve of window glass/sash integrity.

Insulated Glass - Insulated (double or triple glaze) windows and doors are subject to hard-to-detect failure of the airtight seal between panes. This failure can result in moisture and/or staining of the unit that can vary seasonally and increase with time. While actual/suspect seal failure may be noted, it is not within the scope of a standard inspection to assess the seal integrity of these type units. A pre-closing check of all units when house is clear of drapes, window coverings, etc. and the view of the windows is unobstructed is advised.

Storms/Screens - Any loose, damaged or missing storms or screens should be repaired as desired, or if health concerns or other hazards exist.

Drip Caps/Flashings - The trim/siding joint above windows and doors and at horizontal trim must be kept well sealed to minimize leakage or decay. If drip

caps or suitable flashings do not exist, they should be added or regular caulking/sealing will be required. Hidden damage may exist if prior leakage occurred.

Exterior Faucets - Exterior faucets that do not operate may be turned off, not connected, or, in cold weather, may be frozen. Consider all factors when concerns are indicated. The use of backflow preventers is advised, and in many areas now required, to prevent possible contamination of the water supply condition.

Siding/Wood Soil Clearance - Siding materials and wood components close to or in direct contact with soil or mulch are conducive to decay and/or wood destroying insect infestation. Whenever possible, at least six (6) inches of clearance should be provided above the soil. All areas in contact or close to the ground should be checked. Foam insulations or other foundation cover increase the potential for hidden damage due to moisture or insect concerns. All areas in contact or close to the ground should be checked. Where possible, contact with the ground should be corrected. Wood-soil contact, unprotected wood, and high moisture conditions promote decay and insect activity. Any conducive conditions should be eliminated, if possible, to minimize consequential damage or further infestation. Damaged components should be corrected/addressed properly.

Garage/House Separation - Fire-rated wall/ceiling assemblies are generally required between the house and garage. This report does not fully address any specific requirement; rather it is generally limited to a determination of whether frame walls are covered or not. The integrity of any fire separation assembly must be maintained for proper protection. Wall insulations and vapor retarders are generally not observable and may only be commented on if an observed defect exists.

Overhead Door Operator - Inspection of door operators is limited to a check of operation utilizing hard-wired controls. Remote devices and control sensitivity are not checked. Regularly test and service door pursuant to manufacturer's guidelines. Controls should be mounted a safe distance above the floor and remote control should be secured from use by children.

Finished Room Over Garage - It is common practice in many areas to finish the area over the garage for living space. Due to the location, the use of appropriate insulation and fire rated assemblies is particularly important. A home inspection does not include evaluation of such design and construction issues. Confirm all renovation work meets with approval of local authorities.

NOTE: The condition of walls, ceilings and floor structures and other components concealed by finish materials such as but not limited to siding, drywall, floor coverings and or cabinets cannot be determined and are specifically excluded from the inspection and report. All exterior components that can become weathered/moisture damaged/compromised by the weather such as siding, fascias, soffits, doors, windows and trim need to be monitored on a continual monthly basis, and maintained as needed. Moisture damage can occur or become visible very fast, sometimes a compromised area that was not visible one month will be visible the next. Caulking, paint and sealant needs to be kept in good condition on an ongoing basis. Any exterior element defect can result in leakage and/or subsequent damage. Exterior wood elements and wood composites are particularly susceptible to water-related damage, including decay, insect infestation, or mold. The use of properly treated lumber or alternative products help minimize these concerns, but will not eliminate them altogether. While some areas of decay or damage may be reported, additional areas of concern may become apparent as they occur, spread, or are discovered during repair or maintenance work. Should you wish advice on any new or uncovered area of deterioration, please contact the Inspection Company. Periodic caulking/resealing of all gaps and joints will be required. Insulated window/door units are subject to seal failure, which could ultimately affect the transparency and/or function of the window. Lead-based paints were commonly used on older homes; independent inspection is required if confirmation or a risk assessment is desired.

Any areas obstructed at the time of inspection should be cleared and checked prior to closing. The integrity of the fire-separation wall/ceiling assemblies generally required between the house and garage, including any house-to-garage doors and attic hatches, must be maintained for proper protection. Review manufacturer use and safety instructions for garage doors and automatic door operators. All doors and door operators should be tested and serviced on a regular basis to prevent personal injury or equipment damage. Any malfunctioning doors or door operators should be repaired prior to using. Any door operators without auto-reverse capabilities should be repaired or upgraded for safety. The storage of combustibles in a garage creates a potential hazard, including the possible ignition of vapors, and should be restricted.

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5. ROOF

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visible and apparent conditions at the time of the inspection. Unless rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. Not all attic areas are readily accessible for inspection. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. The client is advised to ask the seller about the presence of any roof leaks. Any repairs needed should be carried out by properly qualified tradesman. All roofs require periodic maintenance to achieve typical life spans and should be inspected annually. Expect to make minor repairs to any roof on a periodic basis. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
5.0	ROOF COVERINGS	X				ROOF-TYPE: GABLE
5.1	ROOF COVERINGS				X	ROOF COVERING: 3 - TAB SHINGLES FIBERGLASS
5.2	ATTIC VENTILATION				X	ROOF STRUCTURE: ENGINEERED WOOD TRUSSES OSB TYPE PLYWOOD
5.3	FLASHINGS AND ROOF PENETRATIONS				X	CEILING STRUCTURE: ENGINEERED WOOD TRUSSES
5.4	WATER/MOISTURE ENTRY (Report signs of abnormal or harmful water/moisture penetration into the attic area.)				X	ATTIC VENTILATION: RIDGE VENTS SOFFIT VENTS
5.5	ROOFING DRAINAGE SYSTEMS	X				ATTIC ACCESS: HALLWAY PULL DOWN STAIRS
5.6	ROOF (structure)	X				CHIMNEY (exterior): SIDED CHIMNEY CHASE METAL FLUE PIPE
5.7	CEILINGS (structural)	X				VIEWED ROOF COVERING FROM: GROUND WITH BINOCULARS
5.8	ATTIC ACCESS	X				METHOD USED TO OBSERVE ATTIC: WALKED / CRAWLED - FLASHING LIGHT
5.9	CHIMNEYS AND FLUES	X				SPECIAL LIMITATIONS: Flashings Covered Inaccessible Limited Access Due To Height / Angle
5.10	SUPPLEMENTAL/GENERAL INFORMATION	X				

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

5.0 Monitor: The roof shows typical wear for its age. The roofing shingles are 20 year type roof shingles, these roof shingles usually last between 15 to 18 years. We recommend typical maintenance and monitoring.

5.1 Roof ridge shingles at rear bay window roof are split/damaged.



5.1 Picture 1

5.2 Roof ridge vent is not functional, when the ridge vent was installed the roofing felt paper was not removed so as to allow air transfer.

5.3 Roof plumbing vent pipe flashings/boots are split/damaged at rear.



5.3 Picture 1



5.4 Evidence of water/moisture/staining penetration observed in the attic/ceiling structure/framing at/around vent pipe penetrations. The seller should be asked about the status of these moisture stains and any recent repairs, further investigation recommended.

5.8 The attic access is the pull down stairs in the hallway. The attic was viewed with a flash light from the center areas only, due to lack of flooring, personal items, storage and or clearance.

5.9 Note: The interior sections and top/crown of the fireplace chimney and flues were not observed/inspected.

5.10 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Roof Systems - The water tightness of a roofing system is dependent on the proper installation of the roofing material and underlayment, its physical condition, and the proper function of all flashings (metal or other membrane installed at protrusions through the roof, such as vent pipes, skylights and valleys). While general roofing conditions were reported, this report is not a guarantee the roof is or will be watertight or leak free.

Inspection Limitations - The evaluation of a roof is primarily a visual assessment based on general roofing appearances. The verification of actual roofing materials, installation methods or roof age is generally not possible. Conditions such as hail damage or the lack of underlayment may not be readily detectable and may result in latent concerns. If the inspection was restricted to viewing from the ground and/or was affected by weather conditions or other limitations, a roofer's assessment would be advisable, particularly if the roofing is old or age is unknown.

Asphalt/Fiberglass - Most newer asphalt roofing products are reinforced with glass fibers to improve the strength of the base felt. Some of these products, however, are susceptible to manufacturing defects that may or may not affect roof function. The manufacturer or qualified roofer should be consulted if there are any reported or suspected concerns.

Roof Flashings/Seal - Initial or recurring roof leakage is often due to inadequate or damaged flashing. All flashings should be checked periodically or if leakage occurs. Repair or seal as needed.

Roof Drainage - Normal roof design criteria allows for only limited water ponding on a roof for short periods after rainfall. If ponding is substantial, or the roof/roofing is damaged, remedial measures should be implemented.

Roofing Appearance - Conditions such as light surface mildew (fungus) buildup on the roofing, slight granule loss, uneven/irregular coloring, (shingle shading), and similar relatively superficial conditions generally do not affect roof function. Maintain/ repair as desired. Heavy mildew/fungus buildup may indicate a ventilation concern and/or lead to more serious concerns related to mold.

Chimneys/Vents - Chimney and vent evaluations are based on external conditions only. Internal conditions, design, and venting adequacy were not evaluated unless specifically indicated. A periodic check of all chimneys/vents is advisable as a precautionary measure. A chimney sweep is often qualified to assess/maintain chimney/vent interiors.

Gutters/Downspouts - The need for gutters and downspouts (leaders) will vary with house/roof design, locale and surface drainage conditions. If present, regular checks and cleaning are advised. If not present, consider the benefits to be gained from proper control of roof run-off and diversion away from foundation.

Flue/Liner Conditions - If visible sections of a chimney flue are cracked or damaged, or if there is no liner (or its presence is questionable), arrangements should be made to have a qualified chimney specialist inspect the chimney prior to closing. Internal chimney conditions and the needs/options on lining or repair should be included in this inspection.

Roof Flashings/Seal - Initial roof leaks and/or recurring roof leakage problems are often due to inadequate or damaged flashing. All flashings should be checked periodically or if leakage occurs. Repair or seal as needed.

Plumbing Vents/Stacks - The flashing/boot seal at plumbing vents are prone to leakage. All vent pipe flashings should be checked periodically and should

be repaired and/or sealed as needed. Vent stacks must have adequate clearance from windows and other roof or wall openings or vents. Extending the vent may prevent detrimental conditions.

Downspouts Into Ground - Downspouts that run into the ground are subject to backup/blockage. Neither the presence nor integrity of underground lines, nor free flow of water through such lines is readily determinable during a home inspection.

Splash Blocks/Extensions - To minimize water ponding at the foundation and the potential for interior water penetration, downspout extensions or splash blocks should be utilized at the termination points of all downspouts/roof drains. Maintain a positive slope away from the house and discharge downspouts a reasonable distance away from the foundation.

Insulation - An energy assessment or audit is outside the scope of the standard home inspection. Any comments on amounts and/or materials are for general informational purposes only and were not verified. Some insulations may contain or release potentially hazardous materials; avoid disturbing. Wall insulation is not readily visible. Pre-1970s homes are more likely to have been constructed with insulation levels significantly below present day standards.

Ventilation/Vapor Retarders - Attic heat and moisture levels and ventilation adequacies are subject to change. Monitor for any significant buildup or changes and correct cause and/or improve ventilation as warranted. The presence and coverage adequacy of vapor retarders (barriers) cannot be confirmed in many cases.

Finished Attic - Materials used to finish off attic areas severely restrict assessment of roof framing/roof framing conditions. Any renovation work after original construction should meet current requirements for egress, etc. Confirm compliance with local authorities.

Cathedral/Vaulted Ceiling - Cathedral/vaulted ceiling design restrictions generally prevent assessment of structural components, insulation or ventilation (moisture) provisions with this type construction. Ventilation inadequacies are common; assessment will be required when re-roofing or if any concerns are reported or develop.

Electric/Wiring - Wires should be spliced only in covered junction boxes. Wiring near the attic entry or storage areas should be protected from physical damage.

Leakage/Stains - Any specific notation of leakage or stains does not preclude additional areas of leakage and/or hidden damage. Monitor attic for any changes; ongoing or questionable situations should be assessed and corrected. Leakage can lead to mold concerns.

Fireplaces/Chimney's - The National Fire Prevention Association (NFPA) recommends that a Level II inspection be performed whenever a home is sold. This involves cleaning and inspection of the flue. A qualified chimney sweep should be engaged.

Limitations/Obstructions - Due to typical design/accessibility constraints (insulation, storage, etc.,) evaluation of attic areas, including structural components, is generally limited. Any specifically noted limitations/obstructions are intended to highlight limitations beyond the norm. A complete check of the attic should be made when non-permanent limitations are removed.

NOTE: All roofs have a finite life and will require replacement at some point. In the interim, the seals at all roof penetrations and flashings, and the watertightness of rooftop elements, should be checked periodically and repaired or maintained as required. Any roof defects can result in leakage, mold, and subsequent damage. Conditions such as hail damage, manufacturing defects, or the lack of roof underlayment or proper nailing methods are not readily detectable during a home inspection, but may result in latent concerns. Gutters and downspouts will require regular cleaning and maintenance. In general, fascia and soffit areas are not readily accessible for inspection; these components are prone to decay, insect, and pest damage, particularly if roof or gutter leakage and/or defects exist. If any roof deficiencies are reported, a qualified roofer or the appropriate specialist should be contacted to determine what remedial action is required. If the roof inspection was restricted or limited due to roof height, weather conditions, and/or other limitations, arrangements should be made to have it inspected by a qualified roofer, particularly if the roofing is older or its age is unknown.

Attic heat, moisture levels, and ventilation conditions are subject to change. All attics should be monitored for any leakage, moisture buildup or other concerns. Detrimental conditions should be corrected and ventilation provisions should be improved where needed. Any comments on insulation levels and/or materials are for general informational purposes only and were not verified. Some insulation products may contain or release potentially hazardous or irritating materials--avoid disturbing. A complete check of the attic should be made prior to closing after non-permanent limitations/obstructions are removed. Any stains/leaks may be due to numerous factors; verification of the cause or status of all condition is not possible. If concerns exist, recommend evaluation by a qualified roofer or the appropriate specialist. Leakage can lead to mold concerns and structural damage.

Interior sections and top of the fireplaces and chimney/flues can not be properly observed/inspected and are beyond the scope of a inspection. We recommend that all chimney's, flue interiors and caps have further observation/investigation with a chim Scan type camera by a properly certified chimney sweep. The roof shingle tabs are glued/adhered together, the nailing pattern and or lack of nails were not accessible for inspection.

Chimney and fireplace flue inspections should be performed by a qualified specialist. Regular cleaning is recommended. An assessment should be made of the need for and placement of detectors.

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6. PLUMBING

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Wells, septic systems, sewer lines, and water treatment equipment are not inspected and are specifically excluded from the inspection and report. If a well is present, it is recommended that well water be tested. No water testing of any type was performed. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
6.0	MAIN WATER SHUT-OFF DEVICE (Describe location)	X				WATER SOURCE: PUBLIC
6.1	WATER SUPPLY AND DISTRIBUTION SYSTEMS (Interior visible piping)	X				PLUMBING SUPPLY: PLASTIC COPPER
6.2	DRAIN, WASTE, AND VENT SYSTEMS (Interior visible piping)	X				PLUMBING DISTRIBUTION: PLASTIC
6.3	WATER HEATERS, CONTROLS, CHIMNEYS, FLUES, AND VENTS	X				PLUMBING VENTS / WASTE: PVC
6.4	SINKS, FIXTURES AND TOILETS				X	WATER HEATER MANUFACTURER: STATE
6.5	SHOWER/TUB TILE WALLS				X	WATER HEATER POWER SOURCE: GAS
6.6	BATHROOM VENTILATION	X				WATER HEATER CAPACITY: 50 GAL
6.7	HOSE FAUCETS				X	SPECIAL LIMITATIONS: Under Tubs / Showers Floor / Ceiling Insulation Storage / Personal Items Under / Around Insulation Floor / Wall / Ceiling Coverings Under / Around / behind Cabinets Under / Around / Behind Appliances
6.8	SUPPLEMENTAL/GENERAL INFORMATION	X				

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

6.0 The main water shut-off is the lever located beside water heater in garage (For your info).



6.0 Picture 1

6.3 View of water heater(s) in attic (for your info).



6.3 Picture 1

6.4 (1) The sink stopper in the master bathroom did not work when tested.




6.4 Picture 1

(2) Toilet in the master bathroom is loose from the floor.




6.4 Picture 2

 **6.5** Cracked/compromised grout joints in the tile walls / floor junctions in the master shower need to be properly re-done/sealed. Non visible moisture damage that is not readily visible maybe present in, under and or around the compromised area, this should be checked during the repair.



6.5 Picture 1

 **6.7** Hose faucet(s) loose from wall, the faucet(s) at various areas should be secured to the structure.



6.7 Picture 1

6.8 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

General Conditions - Bathrooms are high use areas with many components subject to periodic malfunction, particularly those related to the plumbing system. Normal usage could not be simulated during the inspection; therefore, anticipate the possibility of leakage or other concerns developing with normal usage/aging or as latent conditions are discovered with removal of carpeting, tile, shower pans, etc. The function and watertightness of fixture overflows or other internal fixture components generally cannot be assessed. The watertightness of all tile, enclosures, and other surfaces must be maintained on a regular basis.

Water Supply/Waste Disposal - Neither the source, type nor quality of water supply, nor the method of waste disposal is determined as part of a standard home inspection. Advise obtaining documentation/verification of type systems. If a private water and/or waste system exists, independent evaluation by a specialist is recommended.

Plumbing Components - Evaluation of the plumbing system was limited to permanently connected fixtures and readily visible pipe conditions. The function and effectiveness of laundry standpipes, vent pipes, floor drains, fixture overflows, anti-siphon devices and similar items generally cannot be evaluated. Clothes washing machine connections are not inspected. Conditions are subject to unpredictable change, e.g., leaks may develop, water flow may drop, drains may become blocked, etc. The detection of sewer gases and the condition/function of sub-slab or in-ground piping is excluded from a standard inspection. In-ground piping is subject to blockage/collapse.

Shut Off/Location - Confirm and label gas and water shut-off valve locations. Provide full access at all times.

Exterior Faucets - Exterior faucets that do not operate may be turned off, not connected, or, in cold weather, may be frozen. Consider all factors when concerns are indicated. The use of backflow preventers is advised, and in many areas now required, to prevent possible contamination of the water supply condition.

Lead Piping/Lead-in-Water - This inspection does not include assessment of lead piping or lead in water whether from the supply, piping, solder or other sources. Independent testing is available to determine lead concerns.

Auxiliary Systems - A standard home inspection does not include assessment of any water filter or treatment system, irrigation system, outdoor plumbing, backflow preventers (anti-siphon devices), fire sprinklers or similar systems.

Pressure Regulators - Pressure regulator valve malfunction can result in excessively high or low water pressure. If adjustment of the pressure regulator does not improve conditions, repair or replacement may be required. Excessively high pressures can be detrimental to plumbing system and appliance components. Generally 80 psi is the maximum acceptable.

Domestic Hot Water - The adequacy of the domestic hot water supply or temperatures was not determined. Evaluations are limited to assessment of visual conditions and confirmation of heated water flow to the fixtures. Newer tanks should be drained periodically, but many old tanks are best left alone.

Dip Tubes - The dip tube is located in the water heater to direct incoming cold water to the bottom of the tank. Due to a manufacture defect, plastic dip tubes used in many tanks manufactured in 1993-1996 are subject to premature failure. To confirm possible coverage for replacement costs or consequential damage, contact a local plumber or the water heater manufacturer.

Relief Valves - All standard water heaters require temperature-pressure relief valves (TPRV). These units are not operated during a standard home inspection but should be checked regularly for proper operation.

Water Temperatures - Hot water temperature generally should not exceed approximately 120°F (48°C) at any fixture. Elevated temperatures should be corrected. Monitor and adjust as required. Anti-scald devices are available as a safety measure.

Stall Showers - The base of many stall showers is a composite system, utilizing tile or other surface materials, with an underlying base (pan) of metal or other material. This type pan is not visible; the underside of other type shower bases are also not readily visible. Accordingly, it is not possible during a standard inspection to determine the watertightness of a shower pan. With normal aging/wear, leakage will eventually occur.

Safety Glazing - Any glass enclosure or glass surfaces adjacent to fixtures (e.g., shower/tub doors) should be safety or tempered glass. Unless otherwise noted, no verification of the presence of safety glazing is made a part of a standard inspection.

Whirlpool - Inspection of jetted bath is limited to readily accessible components. Advise contacting the manufacturer or distributor for operating and maintenance instructions. Potential health and safety concerns exist with improper design, installation or maintenance. These potential conditions may not be capable of being confirmed. GFCI protection is required for the pumping equipment; installation of a secondary safety switch is advised if not present.

Low Flow Toilets - Low flow units are now required in many areas to conserve water. In some cases, multiple flushes may be required to dispose of solid waste.

Molded Units - Acrylic, fiberglass and other resin-based pre-fabricated bathtub units are subject to damage with normal use or improper maintenance. Surfaces may become scratched, discolored and/or difficult to clean. Cracks can also develop. These may not be readily visible; and may open up depending on shower usage. Check periodically for damage and resultant leakage.

Laundry Equipment - Neither the laundry equipment nor the utility hook-ups (water, electric and gas), nor venting and waste lines for any particular appliance are evaluated as part of a standard inspection. Personal concerns related to any laundry equipment or hook-up needs of new equipment should be assessed by a qualified tradesman.

NOTE: Recommend obtaining documentation/verification on the type water supply and waste disposal systems. If private onsite water and/or sewage systems are reported/determined to exist, independent evaluation (including water analyses) is recommended. Plumbing systems are subject to unpredictable change, particularly as they age (e.g., leaks may develop, water flow may drop, or drains may become blocked). Plumbing system leakage can cause or contribute to mold and/or structural concerns. Some piping may be subject to premature failure due to inherent material deficiencies or water quality problems, (e.g., older polybutylene pipe may leak at joints, copper water pipe may corrode due to acidic water, or old galvanized pipe may clog due to water mineral content). Periodic cleaning of drain lines, including underground pipes will be necessary. Periodic water analyses are recommended to determine if water filtration and treatment systems are needed. Confirm and label gas and water shut-off valve locations. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older properties with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant property waiting for closing) rust or deposits within the pipes can further clog the piping system. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified tradesman be used in your further inspection or repair issues as it relates to the comments in this inspection report. Be aware of the risk of scalding from water temperatures above 120° F. The risk is especially acute for infants, children, and the elderly. Water heater temperatures should never be set higher than 120° F. Note that higher water temperatures are not necessary for modern dishwashers which heat the water. Water filtration units are not tested/inspected. A qualified plumber should perform all plumbing system repairs

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7. ELECTRICAL

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Smoke and carbon monoxide detectors should be installed (if not already present) on each floor (including attics and basements) and outside all sleeping areas. Consult the manufacturer's literature for recommended mounting locations. Be sure to test your smoke detectors upon moving in and monthly thereafter. Electrical systems require regular maintenance for safety reasons. Annual inspection and maintenance of the system by a licensed electrician is recommended. The inspection does not include low voltage systems, telephone wiring, intercoms, alarm systems, cable TV wiring or timers. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
7.0	SERVICE ENTRANCE CONDUCTORS	X				ELECTRICAL CONDUCTORS: BELOW GROUND ALUMINUM 110 / 220 VOLTS
7.1	LOCATION OF MAIN AND DISTRIBUTION PANELS	X				SERVICE GROUND: GROUND ROD PANEL TYPE: CIRCUITS BREAKERS
7.2	SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN, AND DISTRIBUTION PANELS				X	PANEL CAPACITY: 200 AMP ELEC. PANEL MANUFACTURER: CUTLER HAMMER
7.3	BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE				X	BRANCH WIRE 15 and 20 AMP: COPPER WIRING METHODS: ROMEX
7.4	OUTLETS, SWITCHES AND FIXTURES (Observed from a representative number; operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)				X	RECEPTACLE TYPE: 3 PRONG OUTLETS GFCI'S OUTLETS
7.5	SMOKE DETECTORS	X				SPECIAL LIMITATIONS: Under / Around Appliances Storage / Personal Items Under / Around Insulation Furnishings / Storage Items Wall / Floor / Ceiling Coverings
7.6	SUPPLEMENTAL/GENERAL INFORMATION	X				

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

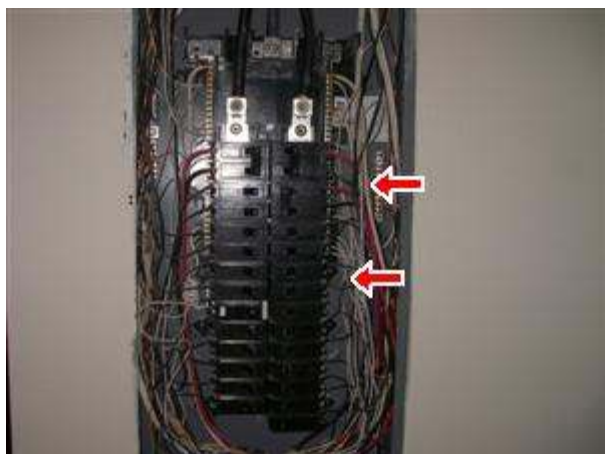
7.1 Main electric panel box is located in the garage, and the main turn off breaker is located in the main panel (for your info).




7.1 Picture 1



7.2 Two wires were observed to be connected to one circuit breakers in the main panel. While often done, this is not permitted unless the device is so labeled. Double tapping often leads to overloaded circuits and loose connections that can overheat (safety concern).

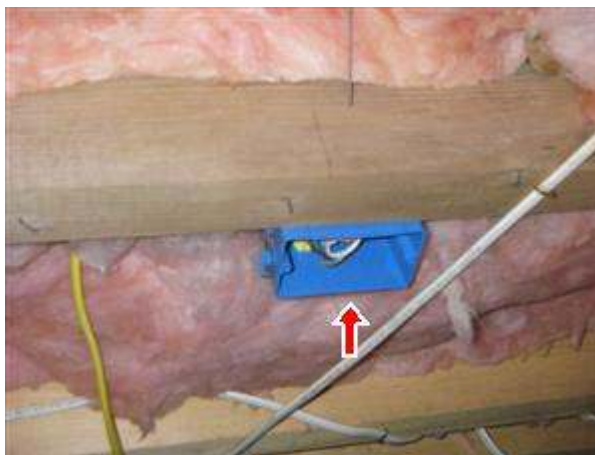


7.2 Picture 1


 7.3 Open wire splices/junction boxes were observed in the crawl space and attic. All wiring connections should be protected in a enclosed/covered approved electric junction box.



7.3 Picture 1



7.3 Picture 2

 7.4 The GFCI electric outlet in the hall bathroom tested to be improperly wired and did not trip off when tested (safety concern).



7.4 Picture 1

7.6 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Electrical System - Evaluations and material descriptions are based on a limited/random check of components. Accordingly, it is not possible to identify every possible condition or concern in a standard inspection. All electric defects/potential concerns should be evaluated/corrected by a licensed electrician.

GFCI - Ground-Fault Circuit-Interrupters are designed to improve personal safety and are recommended for all houses. Regular testing of GFCIs is required to ensure proper operation and protection. In most areas GFCIs have only been required on certain circuits since the mid-1970s. It is recommended that

GFCIs be installed in all high hazard areas (e.g., kitchens, bathrooms, garages and exteriors).

AFCI - As of January 1st, 2002 many areas required the installation of a safety device, known as an Arc-fault Circuit-interrupter (AFCI's), in new construction. The purpose of an AFCI is to reduce fire hazards associated with frayed wires and electric arcing, particularly in areas such as living rooms and bedrooms where corded fixtures are used. AFCI's are not to be evaluated as part of a standard home inspection. If present, AFCI devices should be checked periodically. If not present consider upgrading for safety. Should an AFCI "trip," it should be left in the tripped" or "off" position, and arrangements should be made to have the circuit in question checked by a licensed electrician.

Smoke/CO Detectors - Smoke/fire detection systems and fire extinguishers are generally recommended for all houses, and may be required in some areas. Carbon monoxide and gas detectors are also recommended for houses with fuel-burning appliances, fireplaces or attached garages. Any installed systems should be checked/serviced at least monthly. The potential for elevated carbon monoxide levels exists in most houses, particularly if an attached garage of fuel burning units are present.

Exterior Electric - Due to weathering factors and the potential hazards of exterior wiring, precaution must be used for the installation and maintenance of electrical components. Any damaged components should be corrected immediately. Recommend adding Ground-Fault Circuit-Interrupter (GFCI) protection if not present. GFCI noted, however, test operation indicated unit malfunctioned or did not work properly. All exterior circuitry should be inspected by a qualified electrician.

Service Disconnects - The absence of a single or sub-main disconnect generally does not effect system function but may be required and/or pose a potential safety hazard.

Panel Circuit Labeling - No determination was made of individual circuit distribution or accuracy of any circuit labeling. Recommend tracing and labeling, or confirm correct labeling, of all circuits.

Auxiliary/Low Voltage Systems - Evaluation of ancillary, low voltage electric or electronic equipment (e.g., TV, doorbell, computer, cable, lightning protection, surge protection, low voltage lighting, intercoms, site lighting, alarms etc.,) is not performed as part of a standard home inspection.

Low Voltage House Lighting - Over time, the components of a low voltage lighting system will malfunction at a greater rate than normal. Anticipate maintenance/upgrade needs.

Light Fixtures/Switches - Light fixtures, ceiling fans, etc., are generally randomly checked to assess basic wiring conditions. Any inoperative unit may be due to a defective fixture or bulb, connection to undetected switch or other factors.

NOTE: The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind a refrigerator, appliance, storage and or furniture for example) was not inspected or accessible. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified Tradesman be used in your further inspection or repair issues as it relates to the comments in this inspection report. If the property does not have smoke and carbon monoxide detector(s) installed or the present detector(s) appear old/dated, we recommend the installation of new detector(s).

Older electric service may be minimally sufficient or inadequate for present/future needs. Service line clearance from trees and other objects must be maintained to minimize the chance of storm damage and service disruption. The identification of inherent electric panel defects or latent conditions is not possible. It is generally recommended that aluminum-wiring systems be checked by an electrician to confirm acceptability of all connections and to determine if any remedial measures are required. GFCIs are recommended for all high hazard areas (e.g., kitchens, bathrooms, garages and exteriors). AFCIs are relatively new devices now required on certain circuits in new homes. Consideration should be given to adding these devices in existing homes. The regular testing of GFCIs and AFCIs using the built-in test function is recommended. Recommend tracing and labeling of all circuits, or confirm current labeling is correct. Any electric defects or capacity or distribution concerns should be evaluated and/or corrected by a licensed electrician.

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8. HEATING

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Note: The report should not be read as a prediction of the remaining life span of the Air Conditioning/Heating System. Typical life spans of equipment may range from 8-12 years, but there are many exceptions to this. Most air conditioning compressors are warranted for only 5 years. Replacement of a compressor alone may cost \$600.00 or more. We recommend that you purchase a home warranty or service contract to cover replacement or repair. Be advised that defects or failure can occur at any time, and that the inspection in no way lessens the risk or likelihood of repairs or replacements being needed at any time in the future, including the day after the inspection. Any mechanical equipment can fail without warning at any time. It is recommended that all equipment be serviced twice a year. Regular service is very important for efficient operation and to achieve maximum life span. Filters should be changed monthly. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
8.0	HEATING EQUIPMENT	X				HEAT TYPE: FORCED AIR
8.1	HEATING EQUIPMENT				X	ENERGY SOURCE: GAS
8.2	HEAT DISTRIBUTION SYSTEMS (Ductwork, air flow, air filters, and registers)				X	NUMBER OF HEAT SYSTEMS (excluding wood): ONE
8.3	CHIMNEYS, FLUES, AND VENTS	X				HEAT SYSTEM BRAND: TRANE
8.4	NORMAL OPERATING CONTROLS	X				DUCTWORK: FLEX DUCT - SHEET METAL DUCT - INSULATED
8.5	AUTOMATIC SAFETY CONTROLS (Observed, not tested/operated)	X				CHIMNEYS/FLUES: PLASTIC
8.6	PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM	X				METAL
8.7	SOLID FUEL HEATING DEVICES	X				FILTER TYPE: DISPOSABLE
8.8	FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)				X	SPECIAL LIMITATIONS: Under / Around Appliance Storage / Personal Items Under / Around Insulation Furnishings / Storage Items
8.9	SUPPLEMENTAL/GENERAL INFORMATION	X				Wall / Floor / Ceiling Coverings Internal Components

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

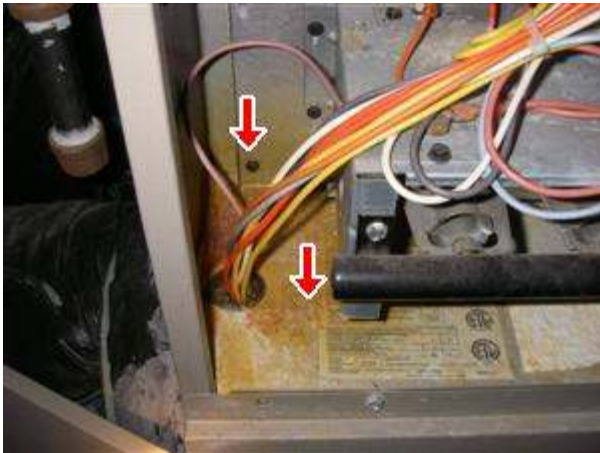
Comments:

8.0 View of heating/cooling system air handler(s) in attic (for your info).



8.0 Picture 1


8.1 Abnormal moisture stains and rust present inside air handler located in attic.



8.1 Picture 1




8.1 Picture 2

 **8.2** HVAC system ducts are somewhat loose and not properly sealed at junctions, connections and joints.



8.2 Picture 1

 **8.8 Investigate Further:** Gas odor (smell of gas) present/observed at/near furnace shut off valve/piping at the furnace area (safety concern).



8.8 Picture 1

8.9 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Central Heating Systems - Evaluation is limited to an operational check of conventional residential systems. No design or heating adequacy evaluation, thermostat calibration assessment, heat loss analyses or active/passive solar systems evaluations are performed as part of a standard inspection. Furthermore, no specific evaluations were performed related to the presence of any fuel storage tanks or asbestos-containing materials. Independent evaluation is required to address any possible asbestos or tank concerns.

Auxiliary Equipment - Add-on components or systems (electronic air cleaners, humidifiers, water treatment systems, etc.) are not evaluated unless

specifically indicated.

Hot Air Furnace - The heart of a furnace is a metal chamber referred to as a heat exchanger. All or most areas of this exchanger are not readily accessible or visible to a home inspector. Therefore, assessment of a furnace is limited to external and operational conditions. The older the unit, the greater the probability of failure. A thorough inspection by a qualified HVAC contractor is advised for full evaluation of heat exchanger conditions, particularly if the unit is beyond 5+ years old or any wear is exhibited. Check filters monthly; replace/clean as needed.

Maintenance/Service - Servicing or repair of the heating system normally must be done by a qualified service company; most utility companies only service/handle gas supply concerns.

Blower/Filter - Missing or clogged filters can affect system operation and possibly reduce the service life of the unit. Replace/clean filters as needed. Ductwork/blower cleaning may also be required periodically, particularly if the unit was operated without a filter.

Flue/Venting - All venting systems must be maintained to ensure an adequate draft. Any indication of a potential concern requires immediate attention as health/safety hazards may exist, including the introduction of carbon monoxide into the house air.

Unit/Vent Clearance - Adequate clearances from combustible materials must be provided; use suitable heat shields where appropriate. Required clearances will vary depending on unit and type venting.

Combustion Air - All fuel-burning units require adequate air supply for proper combustion and to prevent backdrafting concerns at this or other units. Combustion air may be supplied by room air, room vents or direct ducting from the exterior.

Heat Exchanger - A limited assessment of the exchanger indicated signs of, or suspicion of, failure or other detrimental conditions. Potential health/safety concerns may exist. A thorough check of the unit and vent system by a qualified heating contractor is recommended. While heat exchanger replacement may be possible in rare cases, replacement of the furnace usually will be required if failure exists. Some types of heat exchangers, including basic horizontal flow models and even some newer high-efficiency units, are subject to premature failure.

Gas Lines/Valves - Any possible gas line leaks or defects should be corrected immediately. Each gas appliance should have a gas shut-off located in the same room/area as the unit. Advise checking for presence and labeling all valves.

NOTE: The heating/cooling system(s) were visually inspected and reported on. The inspection is not meant to be technically exhaustive and the inspector/company does not open/dismantle heating/cooling system(s). The inspection does not involve removal and inspection behind service doors and or dismantling that would otherwise reveal something only a licensed/qualified heat/cooling contractor would discover. Regular heating system maintenance is important. The older the unit the greater the probability of system deficiencies or failure. Combustion air provisions, clearances to combustibles, and venting system integrity must be maintained for safe operation. Any actual or potential concerns require immediate attention, as health and safety hazards may exist, including the potential for carbon monoxide poisoning. A thorough inspection of heat exchangers by a qualified heating specialist is recommended to determine heat exchanger conditions, particularly if the unit is beyond 5+ years old or any wear is indicated. Heating comfort will vary throughout most houses due to house or system design or other factors. Filters need to be replaced/cleaned on a regular basis; periodic duct cleaning may be required. Insulation on older heating systems may contain asbestos. Independent evaluation is required to address any possible asbestos or buried fuel tank concerns. We recommend having all heating/cooling system(s) internal and combustion components and humidifiers checked, serviced and cleaned by a properly qualified heating/cooling tradesman.

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9. AIR CONDITIONING

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Note: The report should not be read as a prediction of the remaining life span of the Air Conditioning/Heating System. Typical life spans of equipment may range from 8-12 years, but there are many exceptions to this. Most air conditioning compressors are warranted for only 5 years. Replacement of a compressor alone may cost \$600.00 or more. We recommend that you purchase a warranty or service type contract to cover replacement or repair. Be advised that defects or failure can occur at any time, and that the inspection in no way lessens the risk or likelihood of repairs or replacements being needed at any time in the future, including the day after the inspection. Any mechanical equipment can fail without warning at any time. It is recommended that all equipment be serviced twice a year. Regular service is very important for efficient operation and to achieve maximum life span. Filters should be changed monthly. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
9.0	COOLING AND AIR HANDLER EQUIPMENT		X			COOLING EQUIPMENT TYPE: CENTRAL AIR (Forced Air)
9.1	COOLING AND AIR HANDLER EQUIPMENT				X	DUCTWORK: FLEX DUCT - SHEET METAL DUCT - INSULATED
9.2	NORMAL OPERATING CONTROLS		X			COOLING EQUIPMENT ENERGY SOURCE: ELECTRICITY
9.3	DISTRIBUTION SYSTEMS (Ductwork, air flow, air filters, and registers)		X			CENTRAL AIR MANUFACTURER: TRANE
9.4	PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM		X			NUMBER OF A/C UNITS: ONE
9.5	SUPPLEMENTAL/GENERAL INFORMATION	X				SPECIAL LIMITATIONS: Internal Components Outside Temp. Below 65 With-in 24hrs.

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

9.0 The system(s) was operated in the heating mode only due to the low outdoor temperature. The air conditioning system(s) could not be operated and is specifically excluded from the inspection and report. Manufacturers recommend that you not operate central air systems in the cooling mode when the outdoor temperature is below 65 within the past 24 hours. The air conditioning unit should be checked/started by a properly certified professional on the first warm day prior to closing to make sure the system functions properly.

9.1 Evidence of past and or present moisture conditions (rust, water stains and or standing water) present in over flow pan under air handler unit located in attic . This is a typical past and or present indication of the air handler, refrigerant lines and or A-coil leaking and or not draining properly, also the condensation drain piping maybe clogged.



9.1 Picture 1

9.5 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Central Cooling - Evaluations are usually restricted to the basic operation of electric central air conditioning and heat pump systems. No heat gain, sizing, refrigerant leakage or design evaluations were performed. Thermostat calibration, accuracy and adequacy of conditioned air distribution were not determined. The evaporator coil (indoor coil) is not visible for inspection. Cool/cold weather operation/evaluation is not part of a standard inspection. No assessment was made related to the use of or potential hazards of any system refrigerant.

Maintenance/Service - Regular cooling system maintenance is important. Due to the numerous causes of any system malfunction, assessment by a qualified cooling serviceman is advisable. Periodic refrigerant recharging may be needed; such conditions may not be predictable. Condensate back up or leakage can lead to mold growth.

Cool/Cold Weather Factors - Cooling systems cannot be safely or properly evaluated at low exterior temperatures. Arrange for inspection when temperatures are above approximately 60 degrees F (15 degrees C) for several days.

Pre-Test Power to System - According to standard manufacturer guidelines, the electric power to a cooling or heat pump system (whether controlled by fuse or breaker) needs to be on 12-24 hours prior to activation/inspection. Lack of confirmation of pre-test power for this time period precludes the ability to

inspect the system.

Refrigerant Tubing - The tubing should be kept insulated and protected from physical damage. If any damage/leakage is noted, a thorough inspection should be performed by a service company.

Condensate Removal - All condensate must be properly discharged to the exterior or a suitable drain with an air gap. Condensate lines and pumps, if present, should be checked for proper flow regularly.

Blower/Filters - Missing or clogged filters can affect system operation and possibly reduce the service life of the unit. Replace/clean filters when needed. Ductwork/blower cleaning may also be required periodically, particularly if the unit was operated without a filter.

Ceiling Fans - No determination is made regarding ceiling fan mounting adequacy, wiring methods, or product recall status as part of a standard inspection. As with other electric fixtures, fan evaluation is limited to assessment of basic electric supply. All fans should be checked for the potential concerns noted above.

Window/Portable Units - These units are generally not inspected within the scope of a standard inspection. As with all appliances, units to remain after title transfer should be checked by a qualified service company if condition assessment is required or desired.

NOTE: Regular cooling system maintenance is important. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed/qualified HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). The older the unit the greater the probability of system deficiencies or failure. Do not assume inadequate cooling or other system problems are related to an inadequate refrigerant charge, as more significant concerns may exist. Condensate lines and pumps, if present, should be checked regularly for proper flow; backup or leakage can lead to mold growth and structural damage. All condensate drains must be properly discharged to the exterior or a suitable drain using an air gap. Cooling comfort will vary throughout most houses due to house or system design or other factors. Filters need to be replaced/cleaned on a regular basis; periodic duct cleaning may also be required. Cooling systems cannot be safely or properly evaluated at low exterior temperatures. We recommend having all heating/cooling system(s) internal and combustion components and humidifiers checked, serviced and cleaned by a properly qualified heating/cooling Tradesman.

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10. INTERIORS

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. This type of cracking is usually caused by settlement, separating tape joints and/or shrinkage of building components. Small cracks of this type are not mentioned in the report. The condition of floors underneath carpet and other coverings cannot be determined and is specifically excluded from the inspection and report. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
10.0	CEILINGS	X				CEILING MATERIALS: DRYWALL
10.1	WALLS	X				WALL MATERIAL: DRYWALL
10.2	FLOORS	X				FLOOR COVERING(S): CARPET HARDWOOD
10.3	DOORS (Representative number)				X	TILE INTERIOR DOORS: RAISED PANEL COMPOSITE
10.4	STEPS, STAIRWAYS, AND RAILINGS	X				CABINETRY: WOOD
10.5	CABINETS AND COUNTER TOPS (Representative number)	X				COUNTERTOPS: SOLID SURFACE GRANITE
10.6	FIREPLACES	X				FIREPLACE: GAS / LP LOGS METAL PREFAB
10.7	SUPPLEMENTAL/GENERAL INFORMATION	X				OPERABLE FIREPLACES: ONE SPECIAL LIMITATIONS: Floor / Wall / Ceiling Coverings Under / Around / Behind Appliances Storage / Personal Items Furnishings / Cabinets

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

10.2 The condition of floors underneath carpet and other coverings cannot be determined and is specifically excluded from the inspection and report.



10.3 Door knob latch did not engage into striker plate and should be repaired or adjusted at; master bedroom closet



10.3 Picture 1

10.6 The fireplace is a metal pre-fab vented gas log type system, we did not light and or test the gas logs for safety and or health concerns.

10.7 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Structural Components - Evaluation of wall, ceiling or floor components is generally limited to readily visible structural conditions. Aesthetic or cosmetic factors, (e.g., paint, wallpaper) or the condition of finish materials or coverings are not considered unless specifically noted. Furthermore, it is not possible to determine the wall insulation, type or condition of surfaces or hidden structural concerns that may exist under floor cover, carpeting, paneling, drop ceilings, etc. If the type flooring is a concern, it should be confirmed before closing.

Indoor Air Quality/Molds - All houses are potentially subject to indoor air quality concerns due to numerous factors such as improper venting systems, outgassing from construction materials, etc. Air quality can also be adversely affected by the growth of molds, fungi and other micro-organisms—most are results of excess moisture conditions. A home inspection does not include assessment of potential health of environmental contaminants or allergens. If leakage occurs of detrimental moisture conditions exist or develop the possibility of potentially harmful contaminants exist and therefore should be immediately addressed. For air quality evaluations, a qualified testing firm should be contacted.

Windows and Doors - Windows and door evaluations are based on a random sampling of a representative number of units. All units should be checked by the buyer for possible operational concerns or other deficiencies. Unless noted, presence of safety glazing at windows/doors is not evaluated.

Infiltration/Leakage - The particular cause of a leak, or the status of any prior leakage conditions, cannot be readily verified in most cases. If any possible causes for leakage anywhere in the house are noted, it should be understood that additional unanticipated factors may also be contributing to or causing the condition. Hidden damage may exist. All areas of potential concern should be attended to and/or monitored for leakage. Any renovation or finish work should only start after verification and correction of the cause of leakage.

House Settlement - Ceilings (and associated floors) may exhibit settlement/downward movement due to construction practices, loads applied, materials used, and/or structural defects. Moderate settlement may not have an adverse affect other than off level floors provided there are no underlying structural defects. However, significant settlement conditions, or conditions that are indeterminable due to covered framing, or other factors require further evaluation. Recommend inspection by an engineer or qualified contractor to determine the nature of the condition and whether remedial work is required to provide level surfaces or to correct deficiencies.

Auxiliary Systems - A standard home inspection does not include evaluation of any auxiliary house component or system (or need for same) such as an intercom, security/safety systems, central vacuum, TV, home entertainment unit, doorbell, telephone or other equipment not part of primary systems. The appropriate service company should be contacted for information and assessment of element conditions.

Security/Safety Systems - A standard home inspection does not include evaluation of the adequacy of any existing security or safety system or the need for one. Each owner should perform his/her own assessment of the systems that may be desired or required, or arrange to have a qualified specialist perform such an evaluation.

Lead-Based Paints - There is a potential that exterior and/or interior surfaces are covered with a lead-based paint, particularly in pre-1978 homes. If paint is intact or covered with another product the likelihood of the release of any significant lead is minimized. No lead-based paint assessment is made as part of a standard home inspection. Individual concerns should be considered and testing by a qualified specialist can be arranged if needed.

Ceiling Materials - Acoustical tile and other finish surfaces, particularly textured ceiling surfaces on pre-1980 homes, may possibly contain asbestos. If the surface is undamaged and painted or coated, potential concerns related to airborne asbestos are reduced; however, if it becomes damaged, bulk and/or air sampling may be required to determine if there is a concern. Independent testing can be arranged if needed.

Ceiling Fans - No determination is made regarding ceiling fan mounting adequacy, wiring methods, or product recall status as part of a standard inspection. As with other electric fixtures, fan evaluation is limited to assessment of basic electric supply. All fans should be checked for the potential concerns noted above.

Pet/Pests - No determination was made regarding any damage and/or lingering odors/waste that may exist from pest infestation or household pet activity, unless specifically noted. Such conditions may not surface or become apparent for some time or until carpeting or other obstructions are removed. If pets have been kept in the house, there are likely some resultant conditions or residue.

Walls/Ceiling Conditions - Cracks and nail pops occur in wall/ceiling surfaces due to construction methods, material, framing movement, and other factors. Minor surface conditions can generally be repaired, but the need for periodic repair should be anticipated. If cracks are large, recurring, or appear to increase in magnitude, there is likely an underlying structural concern that may need to be addressed.

Moisture/Condensation - Moisture/condensation conditions can have numerous causes including those related to: mechanical equipment; venting; bath; laundry and kitchen venting; attic and/or crawlspace ventilation. Consideration should also be given to the presence of an adequate vapor retarder and insulation when investigating possible concerns.

Window/Door Seals - Replacement of insulated glass windows or doors is usually required to correct failed or defective vacuum seals. Fortunately, the insulation value is usually not significantly reduced. Replacement time frame may be discretionary; however, conditions will gradually worsen with time.

Glass Surfaces - Sliders and other glass doors prone to impact/contact damaged and should be tempered or safety glazed to minimize concerns related to potential shattering. If verification of safety glazing is not possible, questionable units should be corrected or replaced.

Leakage/Stains - The cause or source for any reported/suspected leakage should be confirmed and repaired as needed. Leakage may cause consequential concerns such as structural damage and mold.

Inspection Limitations - Due to typical design restrictions, any inspection of the fireplace, stove and inserts is limited; internal components, flue, flue connectors, etc., are generally not visible. Furthermore, any inspection is of the physical condition only, and does not include code/fire safety compliance assessment or an operational check of flue/vent drafting. Unit and venting deficiency may represent fire/safety concerns. Flue inspections should be performed by a qualified chimney sweep or competent specialist.

NOTE: The condition of walls, ceilings and floor structures and other components concealed by finish materials such as but not limited to siding, drywall, floor coverings and or cabinets cannot be determined and are specifically excluded from the inspection and report. All homes are subject to indoor air quality concerns due to factors such as venting system defects, outgassing from construction materials, smoking, and the use of house and personal care products. Air quality can also be adversely affected by the growth of molds, fungi and other micro-organisms as a result of leakage or high humidity conditions. If water leakage or moisture-related problems exist, potentially harmful contaminants may be present. A home inspection does not include assessment of potential health or environmental contaminants or allergens. For air quality evaluations, a qualified testing firm should be contacted. All homes experience some form of settlement due to construction practices, materials used, and other factors. A pre-closing check of all windows, doors, and rooms when house is clear of furnishings, drapes, etc. is recommended. If the type of flooring or other finish materials that may be covered by finished surfaces or other items is a concern, conditions should be confirmed before closing. Lead-based paint may have been used in the painting of older homes. All smoke and carbon monoxide detectors should be tested on a regular basis. The inspection did not involve moving furniture, storage and or inspecting behind furniture, storage,

under area rugs, appliances or other areas obstructed from view.

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11. INSULATION AND VENTILATION

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

		I	NI	NP	R	Styles & Materials
11.0	ATTIC INSULATION	X				ATTIC INSULATION: BLOWN BATT
11.1	FLOOR INSULATION				X	FIBERGLASS
11.2	WALL INSULATION		X			FLOOR INSULATION: BATT FIBERGLASS
11.3	VENTING SYSTEMS (Kitchens and laundry)	X				WALL INSULATION: UNKNOWN
11.4	WHOLE HOUSE EXHAUST FAN	X				R- VALUE: TYPICAL FOR THIS AGE HOUSE
11.5	SUPPLEMENTAL/GENERAL INFORMATION	X				DRYER POWER SOURCE: ELECTRIC DRYER VENT: METAL

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

 **11.1** The crawl space floor insulation has come loose and or is laying on the ground at various areas throughout the crawl space. The insulation needs to be put back into place, any wet and or deteriorated insulation needs to be replaced.



11.1 Picture 1

11.2 Walls are covered by finish materials, we could not determine/inspect presence of insulation.

11.5 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Dryer Venting - Dryer vents should be ducted directly to the exterior to prevent moisture-related conditions and potential fire concerns due to lint buildup. Plastic flex duct is generally considered unacceptable. Advise the use of metal ducts and regular cleaning of all ducts.

The insulation and ventilation of the property was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind walls, floors and ceiling coverings). Only ventilation and insulation that is readily visible was inspected. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified Tradesman be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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12. BUILT-IN KITCHEN APPLIANCES

This inspection has been performed according to the ASHI, North Carolina and or South Carolina Standards of Practices and Code of Ethics: Permanently attached/built in appliances are tested by turning them on briefly except for refrigerators. Extensive testing of timers, thermostats, and other controls is not performed. No report is made regarding the effectiveness of any appliances. The inspection only determines whether or not the appliances run. NOTE: Please refer to your real estate contract for options, terms or considerations of any discoveries noted in this report.

I NI NP R


12.0	DISHWASHER				X
12.1	SINK WASTE DISPOSER	X			
12.2	RANGE HOOD	X			
12.3	RANGES, OVENS, AND COOKTOPS				X
12.4	MICROWAVE COOKING EQUIPMENT	X			
12.5	TRASH COMPACTOR	X			
12.6	SUPPLEMENTAL/GENERAL INFORMATION	X			


Styles & Materials
DISHWASHER:
 GENERAL ELECTRIC
DISPOSER:
 IN SINK ERATOR
EXHAUST/RANGE HOOD:
 GENERAL ELECTRIC
RANGE/OVEN:
 GENERAL ELECTRIC
BUILT-IN MICROWAVE:
 GENERAL ELECTRIC

I NI NP R

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

 **12.0** Dishwasher drain hose needs to be looped above the level of the kitchen sink drain or an approved air gap installed to prevent back flow of waste water into the water supply, this is a minor repair and typically very easy to do.

 **12.3** Range/oven anti-tip bracket/anchored is not present. This device can be easily installed and was part of the manufactures installation packet as shown on the oven door label.



12.3 Picture 1

12.6 SUPPLEMENTAL, GENERAL INFORMATION & LIMITATIONS

Appliances - Appliance evaluations are outside the scope of a standard home inspection in many areas and are only inspected if so indicated. When performed, evaluations are limited to a basic operations check of only listed units and generally exclude thermostatic or timer controls, energy efficiency considerations, cooking or cleaning adequacies, appliance accessories, washer/dryers, refrigerators, ice makers and any portable appliances. Appliances typically have a 5-10 year service life. Operation of all appliances should be confirmed during a pre-closing inspection; have owner demonstrate operation if possible. Obtain all operating instructions from the owner or manufacturer. Review WATER TEMPERATURE comments and Bathroom Section.

Appliance Utilities - Appliance inspections do not include evaluation of the adequacy or capacity of any utility or utility connections or compliance with code or manufacturer requirements. Upgrades to water, waste, gas or electric lines may be required to meet specifications of any particular appliance; especially when a new or larger capacity appliance is added.

Cooking Appliances - Cooking adequacies, oven anti-tip features, self-cleaning cycles and other accessories are not evaluated as part of a standard home inspection. While the proper tip over protection some times cannot be verified during a home inspection, all units should be checked to confirm manufacturer recommended tip-protection has been installed as a precautionary measure.

Microwaves - Evaluation of these units is not included in a standard inspection. The cooking adequacy of these units can vary. Follow manufacturer's guidelines; check periodically for leakage or other malfunctions.

Disposals - Any assessment of a garbage disposal is limited to a visual check of motor operation. No assessment of the unit's ability to grind/dispose of

waste was made. This is a high maintenance item.

Dishwashers - Any assessment of an installed dishwasher is limited to a single cycle operation of the motor and visual check of other readily accessible components. Dishwashing/cleaning adequacy and soap dispenser function were not evaluated. This is a high maintenance item. Seal leaks may develop after vacancy or other inactive periods.

Compactors - Due to keyed control and potential damage concerns, these often cannot be operated at the time of inspection.

Ventilation Provisions - Due to the presence of cooking and washing equipment that can generate excess moisture, and in the case of gas cooking appliances which can discharge possible contaminants into the air, adequate kitchen area venting is required (window and/or mechanical vent). If not already present, exhaust air ventilators that discharge directly to the exterior should be considered.

Carbon Monoxide - Gas burning appliances can produce carbon monoxide (CO). CO detection monitors should be used if gas-burning equipment is present.

GFCI Test - Ground-Fault Circuit-Interrupters (GFCIs) are required in the kitchens of most newer houses; they are a recommended safety improvement for older houses. Due to the high hazard potential of electric components in the bathroom area, any identified concern should be addressed immediately. While a defective GFCI receptacle may still allow electricity to flow to the receptacle (and appliance), if the field test indicated any actual or suspected malfunction of a GFCI it should be corrected. The GFCI failed to operate properly when tested. This may indicate a wiring problem or a malfunctioning GFCI. Recommend inspection and correction by a licensed electrician.

NOTE: Appliances typically have a high maintenance requirement and limited service life (5-10 years). Operation of all appliances should be confirmed during a pre-closing inspection. Obtain all operating instructions from the owner or manufacturer; have the homeowner demonstrate operation, if possible. Follow manufacturers' use and maintenance guidelines; periodically check all units for leakage or other malfunctions. All cabinetry/countertops should also be checked prior to closing when clear of obstructions. Utility provisions and connections, including water, waste, gas, and/or electric may require upgrading with new appliances, especially when a larger or upper-end appliance is installed. Ground-fault Circuit-interrupters (GFCIs) are recommended safety devices for all homes. Any water leakage or operational defects should be addressed promptly; water leakage can lead to mold and hidden/structural damage.

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13. COMPLIMENTARY PHOTO VIEWS

		I	NI	NP	R
13.0	ATTIC VIEW	X			
13.1	KITCHEN VIEW	X			
13.2	DINING ROOM VIEW	X			
13.3	LIVING ROOM VIEW	X			

I NI NP R

I=Inspected/Monitor, NI=Not Inspected, NP=Not Present, R=Repair/Defective

Comments:

13.0 View of Attic



13.0 Picture 1

13.1 Kitchen View



13.1 Picture 1

13.2 Dining Room View



13.2 Picture 1

13.3 Living Room View



13.3 Picture 1

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